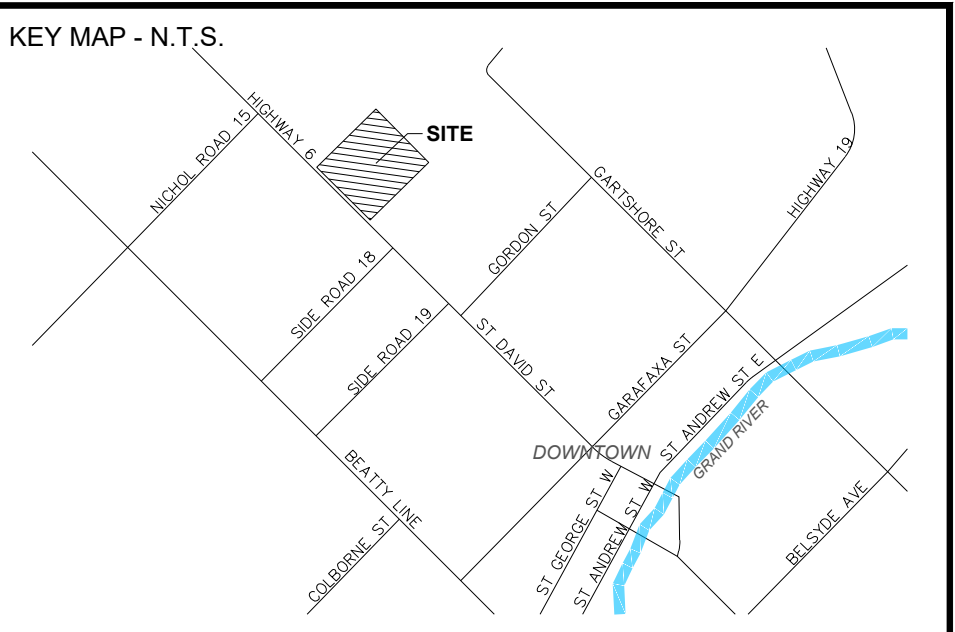




DRAFT PLAN OF SUBDIVISION

6581 HIGHWAY 6
POLOCORP INC.

PT OF LOT 17, CONCESSION 16
IN THE FORMER GEOGRAPHIC TWP OF NICHOL
CENTRE WELLINGTON

SCALE = 1:1400 (metric)

LAND USE SCHEDULE			
DESCRIPTION	LOTS/BLKS.	UNITS	AREA (ha.)
Single Detached	31-43	87-129	4.863
Street Townhouses	44-61	179-266	5.512
Medium Density	62, 63	93-125	2.065
Mixed Use	64	8-14	0.338
Existing House	65	0-1	0.172
Stormwater Management Facility	-	-	-
Trail	-	-	-
Parkland	66	-	0.892
Pedestrian Walkway	67-69	-	0.115
Environmental Feature & Buffer	-	-	-
MTO Allowance	70, 71	-	0.534
Roads	-	-	5.279
TOTAL		367-635	20.027

SALEABLE FRONTAGE	LENGTH	UNIT SMALL	UNIT LARGE
Single Detached	1,495.3m	36' (11.0m)	50' (15.2m)
Street Townhouses	1,773.2m	18' (5.5m)	27' (8.3m)
TOTAL	3,239.5m		

DENSITY

Gross Area (ha)	20.027 ha (49.49 ac)
Developable Area (ha)	19.457 ha (48.08 ac)
Net Density (uph)	18.9 - 27.5 upha
Net People-Jobs (3.05 per unit)	57.7 - 83.9 PJ/pha

INFORMATION REQUIRED

UNDER SECTION 51 (17) OF THE PLANNING ACT, R.S.O. 1990, c.P.13 AS AMENDED

INFORMATION REQUIRED BY CLAUSES a,b,c,d,e,f,g,j AND I ARE AS SHOWN ON THE DRAFT PLAN.

(h) Municipal Water Supply
(i) Sandy Loam
(k) Municipal Sanitary and Storm Sewers

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED ON THIS PLAN AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

RAYMOND J. SIBTHORP, O.L.S.
J.D. Barnes Limited

DATE

OWNER'S CERTIFICATE

I HEREBY CONSENT TO THE FILING OF THIS PLAN BY POLOCORP INC., IN DRAFT FORM

MIKE PUOPOLO
Polocorp Inc.

March 10, 2025
DATE

APPROVALS

APPROVED:		DATE:

REVISIONS		
DATE	BY	DESCRIPTION
2025.03.11	RT	CONTOURS, TOPO AND SIGNATURES ADDED FOR SUBMISSION

379 Queen Street South, Kitchener | N2T 1W6 | 519-745-3249 | polocorpinc.com

DATE: March 4, 2025

PROJECT: 1012 (Fergus)

SCALE 1:1,400 (metric)

DRAWN BY: GFE