



Planning Justification Report

Lichty Pit

Part of Lots 11 & 12, Concession 4, Centre Wellington, Ontario

Prepared for:
James Thome Construction Ltd.
7270 Side Road 14, Ariss Ontario

Prepared by:
Stovel and Associates Inc.
651 Orangeville Road, Fergus, Ontario



1.0 INTRODUCTION

James Thome Construction Ltd. (“Thome”) has applied for a Class A Licence (above the water table) under the Aggregate Resources Act (ARA) (“Proposed Lichy Pit”). Applications for an Official Plan Amendment and a Zoning By-law Amendment will also be submitted to permit aggregate extraction at the Proposed Lichy Pit.

The subject land is located at 5999, 6043 8th Line East, and 7190 Sideroad 12, described as Part of Lots 11 and 12, Concession 4, Former Township of Pilkington (“subject lands”) Township of Centre Wellington, County of Wellington. (Figure 1: Location of Subject Lands). The area proposed to be licensed under the ARA for the proposed Lichy Pit is approximately 42.7 hectares and the proposed extraction area is 28.4 hectares. The property is located approximately 8 km from Elora and is currently farmed for common field crops.



Figure 1:
Location of Subject Lands
James Thome Construction:
Proposed Lichy Pit

□ study site
(approximate)

Date: November 2023
scale: not to scale
compiled from: Google Earth

SAI Stovel and
Associates Inc.

Land directly adjacent to the proposed Lichy Pit includes agricultural lands, and rural residential land uses.

The following approvals are required to permit the proposed Lichy Pit:

- An amendment to the County of Wellington Official Plan

- An amendment to the Township of Centre-Wellington Zoning By-Law to rezone the Subject Lands from Agricultural (A) to the Extractive Industrial (M3) Zone.
- A Class ‘A’ licence for a pit under the Aggregate Resources Act (with an annual tonnage limit of 100,000 tonnes).

This application is considered a Class A license because the proposed annual tonnage limit exceeds 20,000 tonnes. The following table identifies the reports and technical studies required to accompany the application:

Table 1: List of Required Technical Reports (ARA)

Report	Author	Date
Hydrogeologic Assessment	Groundwater Science Corp.	July 2024
Natural Environment Report	SAI	July 2024
Noise Impact Study	Aeroustics Engineering Ltd.	November 2023
Stage 1 and 2 Archaeological Assessments	Lincoln Environmental	December 2021, January 2024
Agricultural Impact Assessment	SAI	March 2025
Site Plans	SAI	November 2025

This report provides the planning justification for the proposed Lichty Pit. Included in this report is an analysis of applicable planning policies contained within the Provincial Planning Statement (PPS, 2024), County of Wellington Official Plan and the Township of Centre Wellington Zoning By-law.

1.1 Project Overview

The proposed Lichty Pit is located in an aggregate deposit of secondary significance and described as follows:

“In Pilkington Township several outwash deposits in the central and southern portions of the township have been selected for possible resource protection at the secondary level. The outwash was deposited as part of an extensive meltwater channel system that extends to the south from the Grand River into an east-trending channel, now partially occupied by Cox Creek. The entire system is known as the Cox Creek spillway (Bryant and McLellan 1974).”

The Cox Creek spillway deposits are relatively thin and sandy. Little extraction has occurred, although a few abandoned pits and one licenced pit are present. The currently licenced source (Pit No. 93), located in the eastern portion of the deposit, has a face height of 3 to 5 m with a considerable amount of oversized material present. Subsurface information on the texture and quality of the aggregate is scarce. Bryant and McLellan (1974) indicate that the deposit tends to be dirty and/or unsorted and contains significant proportions of clay and silt. MTO surveys indicate that the material has difficulties meeting highway specifications. Despite the generally low quality of the material, its widespread occurrence provides alternatives in locating pits for the provision of locally needed road subbase aggregate.

Portions of the Ariss Esker, located in the southern part of Pilkington Township, have also been selected at the secondary level of significance. The esker is highly segmented and consists of several single, sharply defined ridges with relief of less than 6 m. Minor resources of sand and gravel may be available in these deposits” (Page 36, ARIP No. 162 – Wellington County).

Based on a subsurface testing program, the property contains approximately 1.2 million tonnes of high-quality aggregate resources suitable for use in road-based granular construction materials. Aggregate resources extracted from the property will be used to supply material for construction projects primarily in the County of Wellington.

The proposed licence area is 42.7 ha, with an extraction area of approximately 28.4 ha. The maximum annual extraction tonnage for the site will be 100,000 tonnes. Access to the pit will be through entrances leading to Sideroad 12, with no additional access points planned along 8th line. A scale and scalehouse may be utilized at the entrance in Area 1 and 2. Except for local deliveries, aggregate trucks will travel east and west on the 8th line. The maximum annual tonnage for the proposed Lichty Pit is 100,000 tonnes.

The lifespan of the proposed Lichty Pit is expected to be approximately 10 to 15 years, depending on market demand.

The area proposed to be extracted is cultivated for common field crop production and does not contain any buildings or significant natural heritage features. On the East side of Sideroad 12 (Area 1), there is an existing farm residence, barn, and related buildings located outside of the proposed area to be Licenced, that is occupied by the landowner (“Lichty Farm”). This area will not be extracted. Access to the residence will be maintained via the existing driveway to the 8th Line. On the west side of Sideroad 12 (Area 2), there are several storage buildings used for equipment and material storage. The area for buildings will not be in the extraction area. No extraction is proposed within 30 m of the 8th Line.

Rehabilitation of the site will be progressive, and the site will be returned to an agricultural condition with the same average soil condition that currently exists on-site.

The proposed operation, including setbacks, acoustical berms, equipment, and phasing has been designed to minimize impacts on surrounding land uses and allow for progressive rehabilitation of the site. Details of the proposed operations and rehabilitation are outlined in the Aggregate Resources Act Site Plans.

2.0 BACKGROUND

2.1 Description of the Subject Lands

Thoume has entered into an extraction agreement with the landowners of the subject properties. The site is described as follows:

- 5999 8th Line (Part of Lot 12, Concession 4)
 - This property is approximately 40.24 Ha in size and is owned by the Lichty Family. The property includes one homestead. The property is used for agricultural purposes (including horses and beef livestock). The homestead is accessed via a driveway from 8th Line and is occupied by the landowner.
 - The homestead will be located within the proposed licence limit but will not be included in the extraction area.
 - Several agricultural structures have been built at this property including: two barns, implement shed, several feed storage silos, 2 concrete silos, and 1 small storage barn.
 - Row crops have been planted and harvested on this farm. The farm includes a pasture area on the east side of the property.
 - Cox Creek flows north of the Lichty farm. Cox Creek flows through the southeastern portion of the Lichty farm. The creek is not included in the licence limits.
 - A woodlot is present on the north of the property. Extraction is setback 30m from the woodlot.
 - An evaluated Wetland is also located north of the property. This wetland has been named “Speed Lutteral Swam Creek Wetland Complex”. No extraction will occur within 30m of this wetland.
- 6043 8th Line East (Part of Lot 11, Concession 4)
 - This property is approximately 82.81 Ha in size and is owned by Lynmur Valley Inc. This property includes one homestead and is used for agricultural purposes (including horses). The homestead is accessed via a driveway from 8th line and is occupied by the landowner.
 - Agricultural Barns include a horse barn and a wooden bank barn.
 - Row crops have been harvested and a horse track is present (not within the proposed area to be licensed).
 - A woodlot and wetland are present on these lands, but they are located over 120m away from the licenced area.

- 7190 Sideroad 12 (Part of Lot 11, Concession 4)
 - This property is approximately 19.38 Ha in size and is owned by the Martin Family. This property includes one homestead.
 - There are several buildings used for storage purposes.
 - Row crops have been harvested over the past years.
 - There are no heritage features on this property.

2.2 Adjacent and Surrounding Land Uses

The subject lands are in a predominantly rural area of the Township of Centre Wellington, surrounded by agricultural fields and rural residential land uses. Cox Creek is a notable feature adjacent to the subject lands. Portions of the Cox Creek valley system are forested and may include wetland features.

The proposed Lichty Pit is located about 8 km from Elora.

The proposed pit is located approximately: Kitchener-Waterloo (11.6 km), Elmira (11.4 km), and Guelph (9.4 km).

The Grand River is located approximately 4.1 km to the west of the proposed Lichty Pit.

5998 8th Line is located adjacent to the proposed Lichty Pit (+/- 102.5 m). The extraction area is setback 30 m from the 8th line. An acoustic berm will be established in the setback next to the Sideroad 12 along 8th Line.

Further to the east is an agricultural operation located at 5961 8th Line.

2.3 Agricultural Resources and Soils

The subject lands include is active agricultural lands, primarily used for cash cropping.

The soils on the property consist of Class 1, 2, 3 and Class 5. See Figure 2: Soil Mapping maps the CLI soil classification for the property. Table 3 provides the approximate area and percent distribution of CLI- Soil Capability for Agriculture classes on the subject lands.

The proposed licence area is prime agricultural land within a prime agricultural area. The property is identified as a Prime Agricultural Area. The Provincial, County and Local policies permit extraction of mineral aggregate resources as an interim use on prime agricultural land, provided that the site is rehabilitated back to an agricultural condition.

An Agricultural Impact Assessment (AIA) (SAI, July 2024) was completed to evaluate the potential impacts on agriculture from the proposed aggregate extraction operation and identify mitigation measures to minimize any impacts. The AIA concluded that the proposed mineral aggregate extraction operation on the subject lands is not anticipated to have a negative impact on the long-term agricultural uses and operations on the

property or the surrounding area. Extraction will occur above the water table which will allow for the subject lands to be returned to an agricultural condition. This loss of agricultural land is negligible.

Table 3: Soil Capability for Agriculture Classes on the Subject Lands

Canada Land Inventory Class (CLI)	Area (ha)	Percent Occurrence (%)
Class 1	36.53	93%
Class 2	0.00	0%
Class 3	0.65	2%
Class 5	2.00	5%
Total	42.7	100%

The Agricultural Impact Assessment includes rehabilitation recommendations that will ensure that the land is rehabilitated to an agricultural condition. Soil testing will be completed to analyze soil fertility and structure and report during the rehabilitation process. Rehabilitation recommendations from the AIA are included in the Aggregate Resources Act Site Plans.



CLI Agricultural Capability Classes

Class 1	Soils in this class have no significant limitations in use for crops.
Class 2	Soils in this class have moderate limitations that restrict the range of crops or require moderate conservation practices.
Class 3	Soils in this class have moderately severe limitations that restrict the range of crops or require special conservation practices.
Class 4	Soils in this class have severe limitations that restrict the range of crops or require special conservation practices.
Class 5	Soils in this class have very severe limitations that restrict their capability in producing perennial forage crops, and improvement practices are feasible.
Class 6	Soils in this class are capable only of producing perennial forage crops, and improvement practices are not feasible.
Class 7	Soils in this class have no capacity for arable culture or permanent pasture.
Class 0	Organic Soils (not placed in capability classes).
UN	Unevaluated (Previously disturbed lands, e.g. farmstead, laneways, drains, landscaped areas).

CLI CLASS	AREA (ha)	PERCENT OF SITE (%)
1	36.53	85%
2	0.0	0.0%
3	0.65	1.5%
4	0.0	0.0%
5	2.0	4.7%
6	0.0	0.0%
7	0.0	0.0%
0	0.0	0.0%
UN	3.62	8.5%
TOTAL	42.8	100.0%

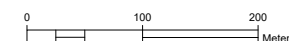
CLI Soil Capability for Agriculture Figure 2



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Date : 12/03/2023



Scale 1:4500

2.4 Natural Heritage Features

A Natural Environment Report (SAI, 2024) has been completed to identify on-site and adjacent natural heritage features and assess any potential impacts. The Natural Environment Report concluded that:

- There are no *significant wetlands* located on the site, but a significant wetland was located within 120 m of the site.
- There is no significant habitat for endangered or threatened species located on the site or within 120 m of the site.
- There is no fish habitat located on the site, but fish habitat is located within 120 m of the site.
- There is no significant woodlands located, but significant woodland is located within 120 m of the site.
- There are no *significant valley lands* located on the subject land, or within 120 m of the site;
- There is *significant wildlife habitat* located on the site;
- There are no provincially significant *areas of natural and scientific interest* located on the site, or within 120 m of the site; and
- Since there are significant natural heritage features located onsite and within 120 m of the subject land, further analysis was included in the Natural Environment Report. Where any of the above features or areas have been identified, the report identified and evaluated potential negative impacts on the natural features or areas, including their ecological functions, and identified preventative, mitigative or remedial measures.
- The Natural Environment Report provides documentation that summarizes how potential impacts on significant natural heritage features are protected. The proposed extraction area is well separated from adjacent significant natural heritage features. The main mitigation measures include extraction setbacks (i.e. minimum of 30 m from the wetland and 10 m from the dripline of the woodland), the use of heavy-duty silt fencing and groundwater monitoring (as set out by a qualified hydrogeologist). The 30 m setback along the northeast portion of Area 1 is to be revegetated with native shrubs and trees. This revegetation program will result in an enhancement of the habitat adjacent to Cox Creek, including improved connectivity.

The Hydrogeological Report assessed the potential impact on the water-regime for the offsite stream and wetland.

“The proposed above water table extraction will slightly increase overall groundwater recharge volumes and groundwater flow potential toward the creek system along the eastern boundary of the site. This is expected to offset any potential changes in runoff. Overall (combined) water contributions to Cox Creek and valley lands in the area are expected to be maintained. Based on the setting

and groundwater residence time there is no significant potential for thermal impacts to Cox Creek. In addition, there is no hydrologic or hydrogeologic input from the proposed licence to the identified wetland complex and associated seepage areas. Therefore, there is no potential impact to the mapped wetland/seepage area due to the proposed extraction. Based on this assessment there is no significant potential impact to local natural environment features associated with the proposed extraction. Water resources protection is achieved through setbacks, appropriate extraction planning, and, implementation of operational controls, such as maximum depth of extraction relative to the water table. (Hydrogeological Assessment, Page 19, July 2024).

Based on the assessment included in the Natural Environment Report and the Hydrogeological Assessment, it is concluded that the proposed Lichty Pit will not have a negative impact on significant natural heritage features or their functions.

2.5 Water Resources

The proposed Lichty pit will operate 1.5m above the established water table.

A Hydrogeological Assessment (Groundwater Science Corp, 2024) was completed for the proposed pit to assess the hydrogeological conditions at the site and to identify any potential adverse effects on water resources.

“Given the setting and proposed extraction/rehabilitation plan, no significant change in groundwater volume or flow direction would be expected. Extraction will remain above the water table, therefore no direct changes to water availability, flow direction or water quality is expected. Standard operating controls, including fuel handling and spills response, will minimize the potential for water quality impacts. In addition, over the life of the pit agricultural loadings are expected to decrease, which will benefit the aquifer system. Deeper wells in the area are protected by an overlying till sequence. As noted above, no reduction in water availability within the shallow groundwater system, or at local shallow water wells, is expected. Therefore, based on this assessment, there are no significant potential impacts to water wells or groundwater uses in the area associated with the proposed extraction” (Hydrogeological Assessment, Page 19, July 2024).

Based on a review of available Source Protection mapping for the Grand River Source Protection Area, the site is not within any identified Well Head Protection Area (WHPA) or Intake Protection Zone (IPZ). In addition, there is no WHPA-Q area identified at or near the site. The sand and gravel deposits at and near the site are mapped as a Significant Recharge area (due to the deposit type). The Hydrogeological Assessment reports that the proposed extraction will remain above the water table and is expected to maintain local recharge rates and will not disturb protective geologic layers that overly any deeper aquifer systems that may exist.

2.6 Cultural Heritage Resources

Cultural heritage resources consist of archaeological resources, built heritage resources, and cultural heritage landscapes. Significant cultural heritage resources are identified as resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a person.

A Stage 1 and 2 Archaeological Assessment (Lincoln Environmental Consulting Corp., 2021 and 2024) was completed for the site. No significant resources were discovered throughout the Stage 1 and 2 Archaeological Assessments. No further assessment is required.

2.7 Economic Impacts

The most significant economic benefits of this proposed pit relates to the continuous supply of essential construction materials in close proximity to the market. This proposed operation will provide high quality construction materials in proximity to the communities of Elora and Fergus in the Township of Centre Wellington markets. Most of the material produced will be shipped to the north of this source location. It is also anticipated that aggregate resources will help the local farming community with construction base material for barn and agricultural infrastructure. Proximity to consumers reduces transportation costs. Transportation costs can account for up to 60% of the cost of delivered aggregate. Proximity to markets can also reduce wear and tear on infrastructure, such as bridges and roads, and it minimizes pollution.

Lichty Pit fee would be based on a total estimated reserve of 1.2 million tonnes. Total fee would be \$297,600 with the Township of Centre Wellington receiving \$181,536 and the County of Wellington receiving \$44,640.

Fees collected from licences, wayside permits and aggregate permits are distributed approximately as follows:

- 3% to the Aggregate Resources Trust for rehabilitation and research.
- 61% to the local municipality in which the site is located.
- 15% to the upper-tier municipality in which the site is located.
- 21% to the Crown (minimum).

The County and Township will also receive industrial taxes for the active areas within the proposed pit.

With respect to employment, the operation of the proposed pit will help to secure the jobs of 10 full-time and 5 part-time employees over the lifetime of the pit. As well, several jobs will be created in the trucking industry.

The following table sets out the 2025 and 2026 Fee and Royalty Schedule:

Fee and royalty rates

Fees and royalties will be charged as follows:

Charge	2025 Production	2026 Production
Annual Fee – Class A Licences and Aggregate Permits authorized to remove more than 20,000 tonnes annually	24.3 cents/tonne or \$848, whichever is greater	24.8 cents/tonne or \$864, whichever is greater
Annual Fee – Class B Licences or Aggregate Permits authorized to remove 20,000 tonnes or less annually	24.3 cents/tonne or \$423, whichever is greater	24.8 cents/tonne or \$431, whichever is greater
Wayside Permit Issuance Fee	24.3 cents/tonne or \$848, whichever is greater	24.8 cents/tonne or \$864, whichever is greater
Minimum Royalty	61.6 cents/tonne	62.8 cents/tonne

3.0 POLICY REVIEW

The following is an assessment of the proposed Lichty Pit relative to the policies and provisions of the following documents:

- Provincial Planning Statement (2024),
- County of Wellington Official Plan – Consolidated Version (December 2025)
- Township of Centre Wellington Zoning By-law No. 2009-045

3.1 Provincial Planning Statement (2024)

The Provincial Planning Statement (PPS) was issued under Section 3 of the Planning Act and came into effect on October 20, 2024.

The Provincial Planning Statement provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning system, the Provincial Planning Statement sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians. (Role of the Provincial Planning Statement, Page 2, Provincial Planning Statement, 2024)

The following is a summary of the relevant PPS 2024 policies:

- 3.5.1 – The proposed pit has been designed to ensure that sensitive uses are protected. A Noise Impact Assessment was completed.
- 4.1 – No Impact on significant natural heritage features.
- 4.2 – No impact on sensitive surface or ground water features.
- 4.3.5.1 a) Extraction of mineral aggregate resources may be permitted as an interim land use in prime agricultural areas.
- 4.5.2.1 - Approval of the proposed pit will ensure that a valuable mineral aggregate resource is made available as close to market as possible.
- 4.5.2.2 - The Site Plan has been based on engineering input to ensure minimal social, economic and environmental impacts.
- 4.5.2.3 – The Site Plan incorporates provisions for mineral aggregate resource conservation (i.e., limited importation of asphalt and concrete for recycling).
- 4.5.3.1 – The Site Plan incorporates provisions to ensure progressive and final rehabilitation to agriculture which is a compatible end use for the site.

- 4.5.4.1 – The Site Plan incorporates provisions to ensure that the site is rehabilitated back to an agricultural condition.
- 4.6 – Archaeological and Cultural heritage resources will not be impacted by the proposed pit.

Based on this planning analysis, the proposed pit application is consistent with the policies of the PPS, 2024.

3.2 County of Wellington Official Plan

The County of Wellington Official Plan (“Official Plan”) was adopted by Wellington County Council on September 24, 1998, approved by the Ministry of Municipal Affairs on April 13, 1999, and came into effect on May 6, 1999. The Official Plan is a legal document intended to give direction over the next 20 to 30 years, to the physical development of the County, its local municipalities and to the long-term protection of County resources.

All land use and servicing decisions must conform to the policies of the Official Plan.

The proposed Lichty Pit is:

- Designated primarily “Prime Agricultural” on Schedule B-1 Centre Wellington Land Use (see Figure 3 in Appendix A: County of Wellington Official Plan Schedule B1- Centre Wellington Land Use).
- A narrow band of “Core Greenlands” designation is shown on Schedule B-1 Centre Wellington Land Use (see Figure 3 in Appendix A: County of Wellington Official Plan Schedule B1- Centre Wellington Land Use). The Core Greenland designation follows Cox Creek. Underlying the Core Greenland designation is the Greenland designation (not visible in the mapping). The Greenland designation reflects the presence of a significant woodland to the northeast of the subject lands.
- The subject lands are identified within a “Sand and Gravel Resources of Primary and Secondary Significance” on Schedule D, Centre Wellington Mineral Aggregate Resources Overlay (see Figure 4: County of Wellington Official Plan Schedule D, Centre Wellington Mineral Aggregate Resources Overlay in Appendix A).
- The subject lands are located outside a “Wellhead Protection Area” and outside a Source Water Protection Area on Schedule C1, Township of Centre Wellington Source Water Protection (see Figure 5: County of Wellington Official Plan Schedule C1, Township of Centre Wellington Source Water Protection in Appendix A).

The lands are designated “Prime Agricultural Area” which identifies an area where prime agricultural lands predominate. The primary land uses permitted in this designation include agricultural uses, agriculture-related uses and secondary uses. In addition,

licensed aggregate operations are permitted uses in the Prime Agricultural Area (6.4.3 Permitted Uses, County of Wellington Official Plan).

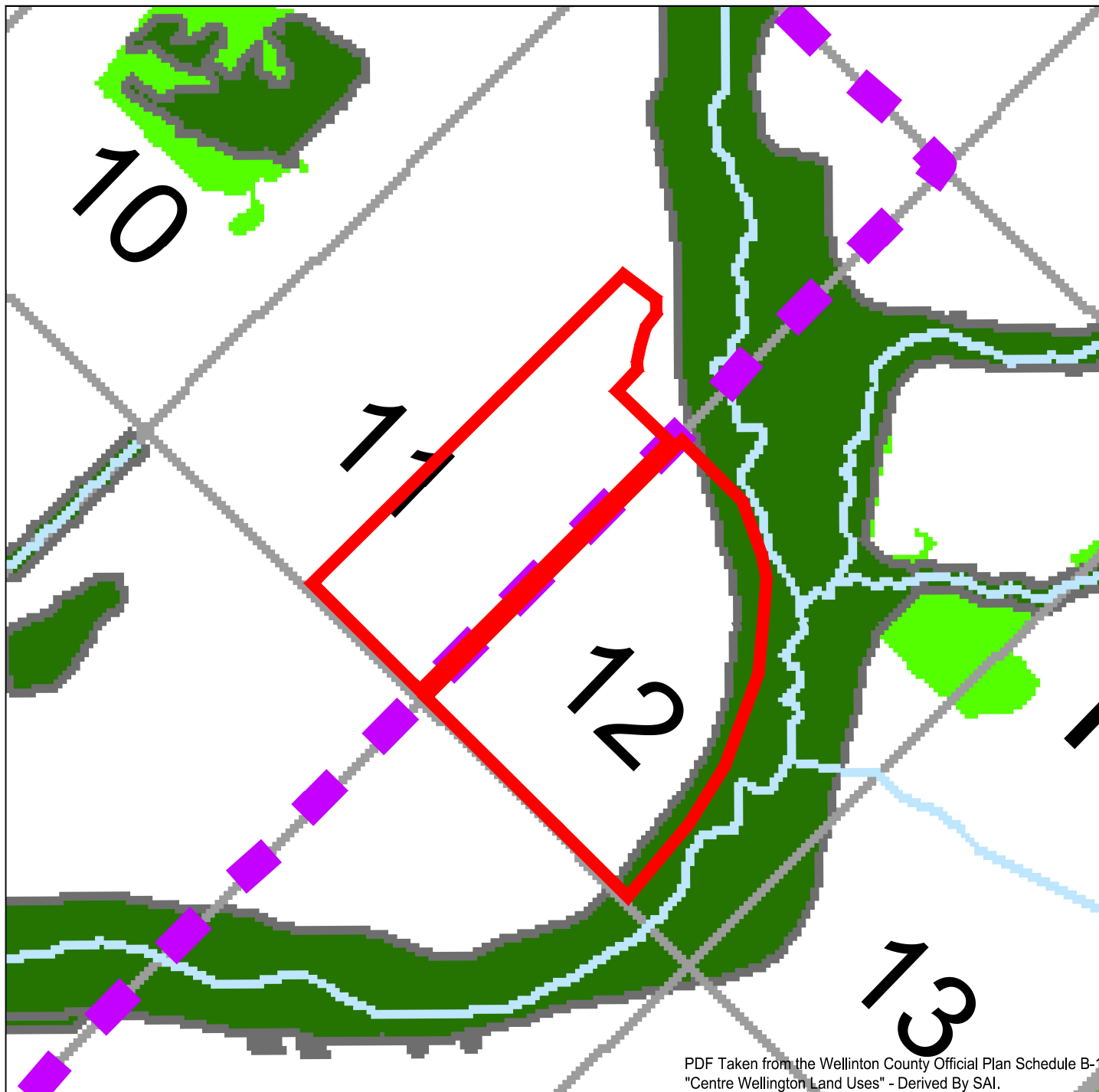
An amendment to the County of Wellington Official Plan is required to permit the establishment of a mineral aggregate operation. Section 6.6.5 sets out the matters that will be considered when considering an application for a new or expanded mineral aggregate operation.

6.6.5 New Mineral Aggregate Operations

New or expanded mineral aggregate operations shall only be established through amendment to Mineral Aggregate Area shown on Schedule B of this Plan. New or expanded mineral aggregate operations also require appropriate rezoning and licensing. Rezoning applications to allow mineral aggregate operations are subject to all relevant policies of this Plan. In considering proposals to establish new aggregate operations, the following matters will be considered:

- a) the impact on adjacent land uses and residents and public health and safety;*
- b) the impact on the physical (including natural) environment;*
- c) the capabilities for agriculture and other land uses;*
- d) the impact on the transportation system;*
- e) existing and potential municipal water supply resources are protected in accordance with Sections 4.9.5 and 4.9.5.9 of this Plan and the applicable Source Protection Plan.*
- f) the possible effect on the water table or surface drainage patterns;*
- g) the manner in which the operation will be carried out;*
- h) the nature of rehabilitation work that is proposed; and*
- i) the effect on cultural heritage resources and other matters deemed relevant by Council.*

It is essential that extraction be carried out with as little social and environmental cost as practical. Provincial standards, guidelines and regulations will be used to assist in minimizing impacts.



PDF Taken from the Wellington County Official Plan Schedule B-1
"Centre Wellington Land Uses" - Derived By SAI.

Legend

The Greenlands System

- Core Greenlands
- Greenlands
- Earth Science ANSI

The Rural System

- Prime Agricultural
- Hamlet
- Recreational
- Rural Employment Area
- Policy Area
- Community Planning Study Area

The Urban System

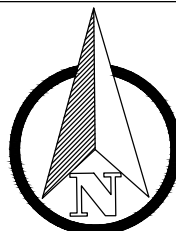
- Primary Urban Centre

SUBJECT LANDS

Other

- Trans Canada Trail
- Landfill Site
- Montrose Water Management Protection Area
- Grand River Crossing
- Deferral
- County Roads
- Provincial Highways
- Built Boundary
- Waterbody
- Watercourse

Sources:
County of Wellington 2023,
Ministry of Natural Resources and
Forestry,
Grand River Conservation Authority.
Teranet 2002,
© King's Printer for Ontario, 2023.



0 150 300 Meters
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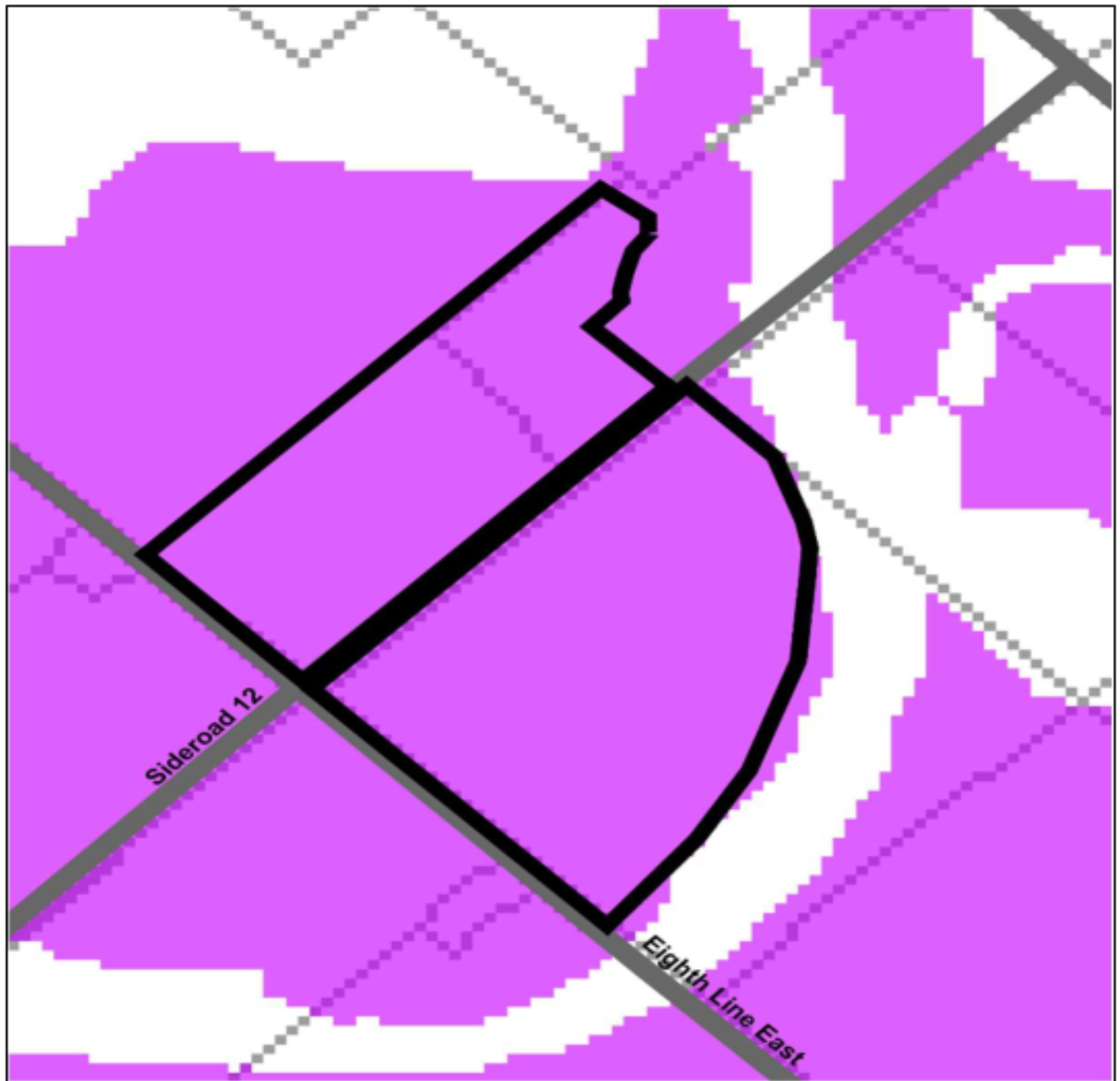
Official Plan Land Use Figure 3

Date: 12-03-2023

5999, 6043, 8th Line East & 7190 Sideroad 12
Part of Lots 11 & 12, Concession 4 West
Township of Centre Wellington
(Geographic Township of Pilkington)
County of Wellington

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Legend

 SUBJECT LANDS

Legend

 Sand and gravel resources of Primary and Secondary Significance

 Selected Bedrock Resource Areas

Sources:
County of Wellington 2023,
Ministry of Natural Resources and
Forestry,
Grand River Conservation Authority.
Teranet 2002,
© King's Printer for Ontario, 2023.



Mineral Aggregate Resource Overlay -
County of Wellington - Schedule D

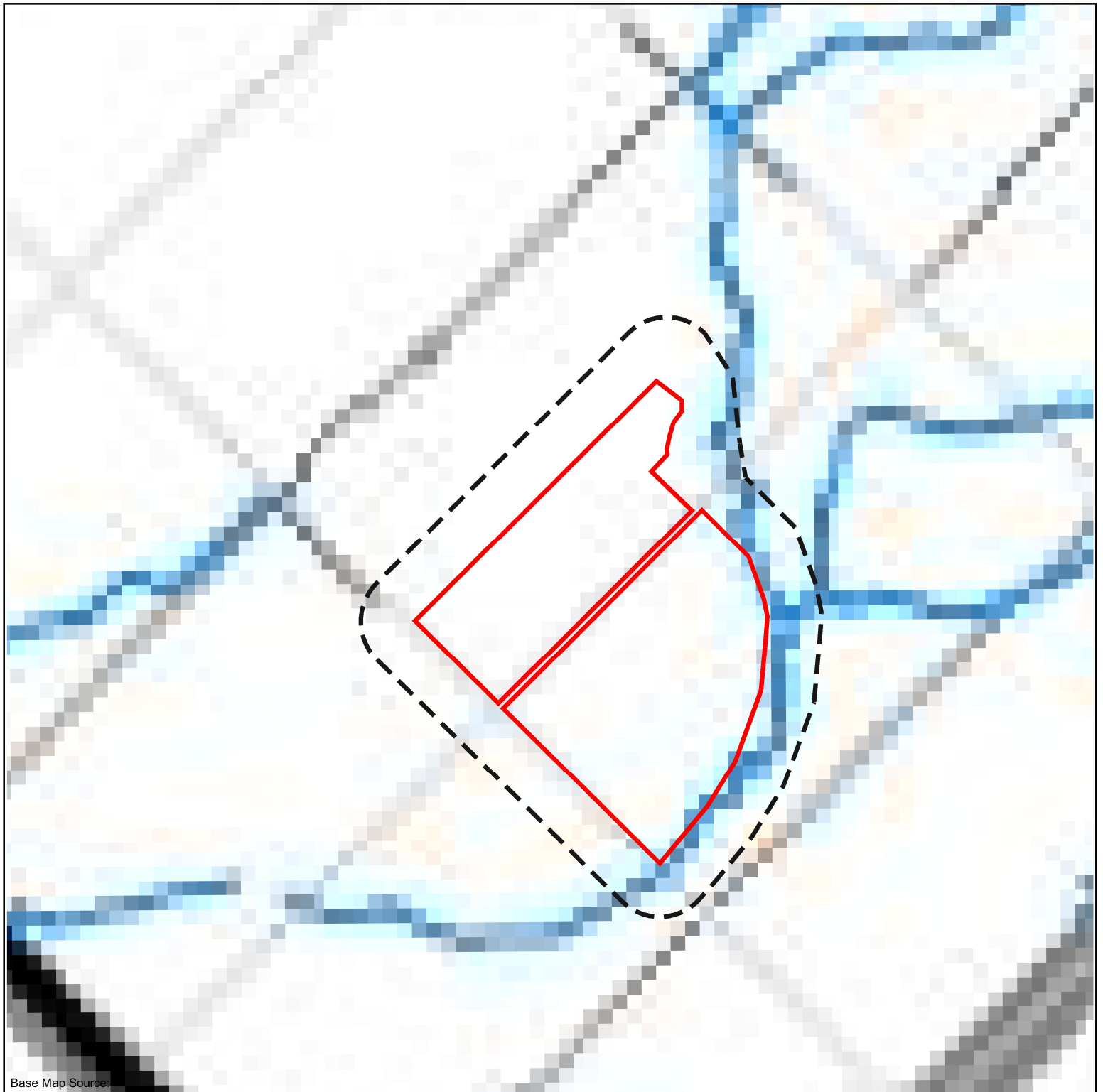
Figure 4

Date: 12-03-2023

5999, 6043, 8th Line East & 7190 Sideroad 12
Part of Lots 11 & 12, Concession 4 West
Township of Centre Wellington
(Geographic Township of Pikington)
County of Wellington

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Base Map Source:

LEGEND



SITE LOCATION



120 m Study Area

Legend



Source Protection Plan Boundary

Wellhead Protection Area

— A

— B

- - - C

Vulnerability Score

10

8

2,4,6



Issues Contributing Area

County of Wellington Official Plan Schedule 'C1' Sourcewater Protection Centre Wellington

5999, 6043, 8TH LINE EAST & 7190 SIDEROAD 12
PART OF LOTS 11 & 12, CONCESSION 4 WEST
TOWNSHIP OF CENTRE WELLINGTON
COUNTY OF WELLINGTON

SAI
PLANNING. AGROLOGY.
ENVIRONMENTAL.

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DATE:
26-Nov-25

Figure 5

The following table assesses the relative conformity with these policies.

Table 4: Planning Policy Conformity Chart

Policy	Conformity	Response
<i>a) the impact on adjacent land uses and residents and public health and safety;</i>	Yes	No impacts anticipated. A Noise Impact Assessment report was completed to ensure that noise emissions from the pit do not exceed MECP regulated levels. Mitigation measures, such as setbacks and perimeter berming/acoustic shielding, were implemented on the Site Plans.
<i>b) the impact on the physical (including natural) environment;</i>	Yes	No impacts anticipated. A Natural Environment Report and Hydrogeological Assessment were completed to address potential impacts and recommend monitoring/mitigation measures. These measures have been incorporated on the Site Plans.
<i>c) the capabilities for agriculture and other land uses;</i>	Yes	Site is comprised mainly of Class 1-3 soils and the pit will be rehabilitated to an agricultural condition.
<i>d) the impact on the transportation system;</i>	Yes	No impact anticipated as the tonnage limit is set at 100,000 tonne/year. Peak hourly truck traffic is anticipated to be 8 trucks (one pass). This pit will act as a replacement pit for Thoume Construction and no overall increase in trucking from Thoume operations is anticipated. The market for Thoume is all local oriented, with Centre Wellington (Elora and Fergus) and local farmers being the largest markets for the proponent. The pit will not require an entrance permit onto a County Road, but an entrance permit from the Township will be required. The entrance is proposed to be located on Sideroad 12, just east of the intersection with 8 th Line.
<i>e) existing and potential municipal water supply resources are</i>	Yes	There are no existing or potential water supply resources in proximity to the site. The Hydrogeological Assessment assesses Source Protection Plan requirements.

<i>protected in accordance with Sections 4.9.5 and 4.9.5.9 of this Plan and the applicable Source Protection Plan.</i>		
<i>f) the possible effect on the water table or surface drainage patterns;</i>	Yes	No impact on water table or surface drainage patterns anticipated. A Hydrogeological Assessment was completed and relevant mitigation measures have been set out on the Site Plan.
<i>g) the manner in which the operation will be carried out;</i>	Yes	The Site Plans describe the method and manner of operations.
<i>h) the nature of rehabilitation work that is proposed;</i>	Yes	The Site Plans set out the nature of rehabilitation work at the proposed Pit.
<i>i) the effect on cultural heritage resources and other matters deemed relevant by Council.</i>	Yes	No effect on cultural heritage resources anticipated. An Archaeological Assessment was completed. No significant resources were documented on the site. Relevant mitigation measures specified by the licensed archaeologist were set out on the Site Plan.

Policy 6.6.6 sets out the Public Information policies for new or expanded mineral aggregate operations. The Site Plans and technical reports for this proposed pit application will be available to the public as they will be submitted in electronic format to the Township of Centre Wellington and County of Wellington. These municipalities post the relevant documentation on their websites, which are publicly available and easy to download documents.

Policy 6.6.7 addresses the policies for Ancillary Uses. There are no ancillary uses, such as portable asphalt plants or portable concrete batch plants, at the proposed pit. Mineral aggregate resource conservation (as set out in PPS, 2024 policy 4.5.2.3) will be undertaken at the pit. This includes the limited importation of asphalt and concrete for

recycling purposes and aggregate for blending purposes (to make a specified aggregate product). The proposed pit conforms to these policies.

Policy 6.6.8 sets out the policies related to rehabilitation for the proposed mineral aggregate operation. A Site Plan is required. Progressive rehabilitation is needed, where feasible. As previously noted in this report, the subject lands are designated Prime Agricultural and the rehabilitation for the site is to an agricultural condition. If required, excess soils will be imported to the site to ensure that the final rehabilitated grade for the site is suitable for agricultural cultivation. The proposed pit application conforms to these policies.

There is one additional planning matter that must be addressed for the proposed Lichty Pit application. Background mapping illustrates the route for the Trans Canada Trail follows Sideroad 12. As previously noted, the western portion of Sideroad 12 just east of the intersection at 8th Line will be used for a truck entrance for the proposed pit. This portion of Sideroad 12. The proponent will work with the municipality to ensure that trail use of Sideroad 12 is not impacted by this interim land use.

*“The **Trans Canada Trail** is a cross-Canada system of greenways, waterways, and roadways that stretches from the Atlantic to the Pacific to the Arctic oceans. The trail extends over 28,000 km (17,000 mi); it is now the longest recreational, multi-use trail network in the world” (From Wiki Pages).*

At this location, the trail is accessible to pedestrian and cyclists. No impact on the Trans Canada Trail is anticipated.

A draft of the Official Plan Amendment has been appended to this report.

3.3 Township of Centre Wellington Zoning Bylaw

An amendment to the Township of Centre Wellington Zoning Bylaw (“ZBA”) will be required to permit the extraction of mineral aggregate resources on the subject lands. The proposed development meets the requirements set out in the Zoning Bylaw for minimum size, frontage and setbacks. A site-specific zone has been proposed for the ZBA. The site-specific provisions recognize the following:

Notwithstanding anything else in this by-law to the contrary, on lands zoned M3-XXX the following provisions shall apply:

- a) The permitted use shall be limited to a licensed mineral aggregate operation (i.e., a gravel pit), including mineral aggregate resources conservation, operating in accordance with the Aggregate Resources Act and associated regulations.*
- b) Agricultural uses including existing rural residential dwellings shall be permitted as accessory uses to the extractive industrial operation.*

- c) *All extraction, processing, rehabilitation, internal haul routes, and associated works shall be carried out in accordance with approved site plans, studies, and reports to the satisfaction of the Township and applicable agencies.*

4.0 CONCLUSIONS

James Thoume Construction Ltd. has applied for a Class 'A' Licence to operate a pit under the Aggregate Resources Act. A Zoning By-law Amendment and County Official Plan Amendment are required to permit aggregate extraction on subject lands, identified as Part of Lots 11 and 12, Concession 4 (west), Township of Centre Wellington, in the County of Wellington.

The proposed Lichty Pit is comprised of portions of three (3) separate land holdings: 5999 and 6043 8th Line East and 7190 Sideroad 12. James Thoume Construction Ltd. has entered into an agreement with the respective landowners to extract mineral aggregate resources at the subject lands.

The subject lands are recognized for containing significant sand and gravel resources in a location that is close to market. The lands are located entirely within the Mineral Aggregate Area Overlay of the County of Wellington Official Plan.

The operational design of the pit incorporates the recommendations of the technical reports prepared for the application in order that the pit can operate within Provincial guidelines and minimize social and environmental impacts. The Noise Impact Assessment was the key document that led to the development of the Operational Plan. Recommendations from the Acoustic Engineer were incorporated onto the Site Plan and include: perimeter berming, operational setbacks and no processing areas. Limits on the times of pit operation are also included on the Site Plan.

The proposed Lichty Pit represents the wise use and management of significant aggregate resources and is in the public interest in consideration of the economic, social and environmental factors that apply to this application. The proposal is consistent with the PPS, 2024 and conforms to the County of Wellington Official Plan.

Robert Stovel

Robert P. Stovel, M.Sc., R.P.P., P. Ag.

December 29, 2025

R. Stovel Jr.

Robert L. Stovel, B.Sc.

December 29, 2025

PART A – THE PREAMBLE

PURPOSE

The purpose of this proposed Amendment is to:

1. **Amend Schedule B1 of the Official Plan** (the land use schedule for the Township of Centre Wellington) to allow for expansion of an aggregate extraction operation by adding the Mineral Aggregate Area overlay to the Lands.

This amendment represents a map change only.

LOCATION

The lands located south of Ponsonby described as Part of Lots 11 and 12, Concession 4 West (Geographic Township of Pilkington), Township of Centre Wellington, County of Wellington. The lands are municipally addressed as 5999, 6043 8th Line East, and 7190 Sideroad 12, Township of Centre Wellington (See Figure 1). The subject lands are approximately 42.7 ha in size.

The subject lands are located on the east and west sides of Sideroad 12, just north of 8th Line East. The subject lands have an area of approximately 42.7 hectares (105.5 acres) proposed to be licensed, with approximately 28.4 hectares proposed for extraction.

BASIS

The County Official Plan provides for the establishment of new or expanded aggregate extraction operations subject to consideration of the potential impacts of such land uses on the natural environment, surrounding land uses, and the agricultural operations. The proposed extraction area includes three properties consisting of agricultural fields.

The proposed extraction area contains approximately 1.2 million tonnes of high-quality sand and gravel resources. Resources will be extracted above the water table. The site will be progressively rehabilitated to an agricultural condition.

The maximum annual tonnage limit is proposed to be 100,000 tonnes. The aggregate processing on the subject lands will be guided by recommendations from the Noise Impact Assessment. An entrance will be constructed on Sideroad 12. The entrance provides good sight lines. There will be no extraction into the adjacent woodland and wetland areas.

The subject lands and Official Plan context

The subject lands are designated mainly Prime Agricultural. Core Greenlands and Greenlands designations are mapped on the subject property but there are no wetlands or woodlands with the proposed area to be licensed.

New or expanded mineral aggregate operations shall only be established through amendment to Mineral Aggregate Area shown on Schedule 'A' of the Official Plan. To permit a new mineral aggregate operation, an Official Plan Amendment is required to include the subject lands within the Mineral Aggregate Area.

The Mineral Aggregate Resource Overlay on Schedule 'D' of the Official Plan generally identifies areas of high potential for mineral aggregate extraction. These lands associated with Schedule D have been identified based on geological information in the Ministry of Northern Development and Mines Aggregate Resources Inventory Paper (ARIP No. 162) or are areas licensed for a pit and quarry. The subject lands are entirely included on Schedule D and no proposed edits to this Schedule are required.

OTHER APPROVALS

An application for a Category 3, Class A licence under the Aggregate Resources Act has been submitted to the Ministry of Natural Resources. An application for a zoning by-law amendment to permit the pit will also been submitted to the Township of Centre Wellington.

SUPPORTING INFORMATION

In support of the proposed amendment to the Official Plan, James Thome Construction Ltd. has prepared a hydrogeological assessment, archaeological assessment, natural environment assessment, agricultural impact assessment, noise impact study and planning justification report.

PART B – THE AMENDMENT

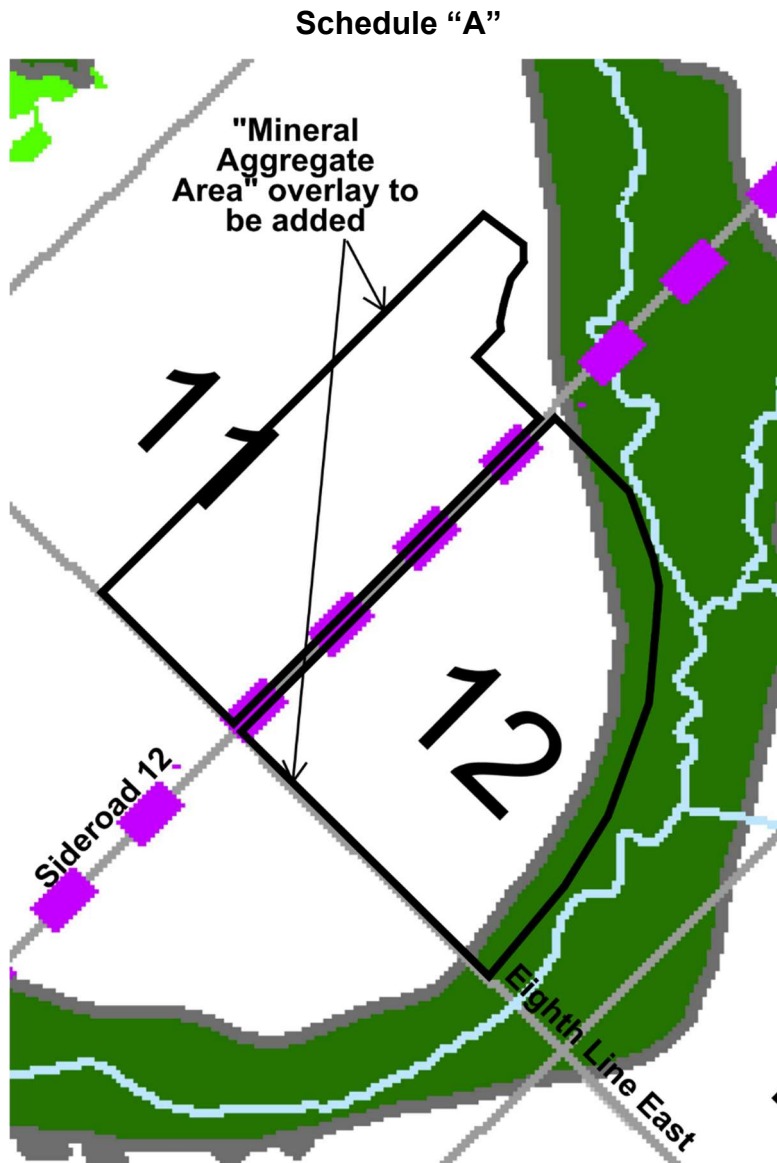
All of this part of the document entitled Part B – The Amendment, consisting of the following text and maps constitute Amendment No. ____ to the County of Wellington Official Plan.

DETAILS OF THE AMENDMENT

The Official Plan of the County of Wellington is hereby amended as follows:

THAT Schedule A1 (Centre Wellington) be amended by changing the designation on portions of Part of Lots 11 and 12, Concession 4 West (Geographic Township of Pilkington), in the Township of Centre Wellington by adding the Mineral Aggregate Area to the subject lands as illustrated on the attached Schedule “A” of this Amendment.

AMENDMENT NUMBER _____
TO THE
COUNTY OF WELLINGTON OFFICIAL PLAN



Amendment to Schedule B1 (Centre Wellington)

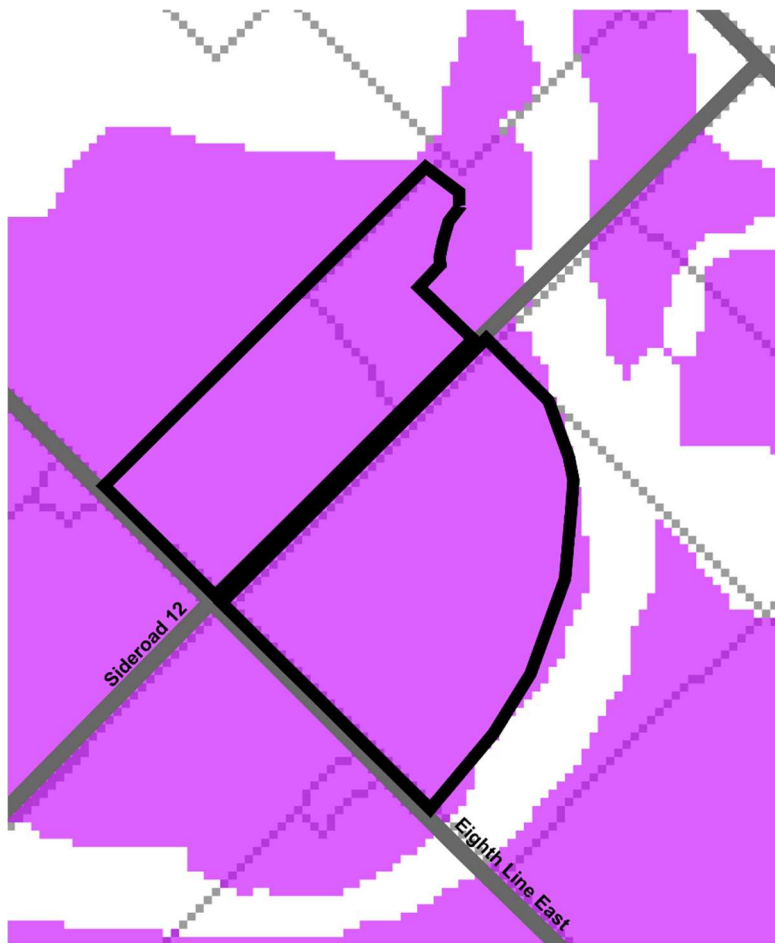
AMENDMENT NUMBER _____

TO THE

COUNTY OF WELLINGTON OFFICIAL PLAN

(For Information Purposes)

Schedule “B”



Note: The location of the proposed Lichty Pit is illustrated on this schedule. The proposed pit limits are entirely included in the Mineral Aggregate Area Overlay.

DRAFT TOWNSHIP OF CENTRE WELLINGTON ZONING BYLAW AMENDMENT

The Corporation of the Township of Centre Wellington

Zoning By-law Amendment No. ____

Being a by-law to amend Zoning By-law 2009-045 of the Municipality of the Township of Centre Wellington pertaining to Part of Lots 11 and 12, Concession 4 West (Geographic Township of Pilkington), Township of Centre Wellington, County of Wellington.

Whereas, the Council of the Corporation of the Township of Centre Wellington deems it in the public interest to pass a by-law to amend By-law 2009-045; and,

Whereas, pursuant to the provisions of Sections 34 of the Planning Act R.S.O. 1990, as amended, by-laws may be amended by Councils of Municipalities; and,

The Council of The Corporation of the Township of Centre Wellington enacts as follows:

1. Map 5 of Zoning By-law 2009-045 is hereby amended by rezoning the lands shown on Schedule “A” attached hereto from the Agricultural (A) Zone and Environmental Protection (EP) Overlay to a Site-Specific Extractive Industrial (M3-XXX) Zone and Environmental Protection (EP) Overlay
2. Section 15 of By-law 2009-045 is hereby amended to implement a new Exception Zone (M3-XXX):
3. Notwithstanding anything else in this by-law to the contrary, on lands zoned M3-XXX the following provisions shall apply:
 - a) The permitted use shall be limited to a licensed mineral aggregate operation (i.e., a gravel pit), including mineral aggregate resources conservation, operating in accordance with the Aggregate Resources Act and associated regulations.
 - b) Agricultural uses including existing rural residential dwellings shall be permitted as accessory uses to the extractive industrial operation.
 - c) All extraction, processing, rehabilitation, internal haul routes, and associated works shall be carried out in accordance with approved site plans, studies, and reports to the satisfaction of the Township and applicable agencies.
4. THAT Schedule “A” attached hereto and all notations thereon shall form part of this By-law.

DRAFT TOWNSHIP OF CENTRE WELLINGTON ZONING BYLAW AMENDMENT

5. This By-law shall come into force and take effect upon being passed by Council, subject to the provisions of the *Planning Act*, R.S.O. 1990, as amended.

Read a first, second and third time and finally passed this __day of , 20_.

XXX, Mayor

XXX, Clerk

SCHEDULE A

